

DEFINITIVE PLAN  
GIOIOSO DRIVE EXTENTION  
SINGLE FAMILY RESIDENTIAL SUBDIVISION  
HOLBROOK, MA  
AUGUST 26, 2021

HOLBROOK PLANNING BOARD

FOR REGISTRY USE

LIST OF WAIVERS:

3.3.3. PLAN PREPARATION:

(b) The plan shall be of a scale of one (1) inch equals (40) feet or such a scale such as the Planning Board may accept to show details clearly and adequately.

The Applicant requests a waiver to also include a plan of scale of one (1) inch equals thirty (30) feet as provided.

3.3.4. Contents

t) ...the plan shall also showall underground utilities gas, electrical, Cable TV and telephonewidths legend.

The applicant request a waiver from the requirement to show these on the plans.

u) Location of all the following improvements unless waived by the Planning Board: ...street trees..., ...fire alarm boxes...

The Applicant requests a waiver from the requirement to provide street trees.

The Applicant requests a waiver from the requirement to provide fire alarm boxes...

3.3.4.6. A tree plan shall be prepared as follows:

a. Location and species of proposed Street Trees and location of trees to be retained with trunks over six (6) inches.

The Applicant requests a waiver from the requirement to provide street trees to identify tree to be retained trees with trunks over six (6) inches as shown on the "Lot Grading Plan"

3.3.4.7. Cross sections shall be shown as follows:

The applicant request a waiver to provide cross section on the plans

3.3.4.8. A Tabular Summary shall be prepared:

a) In tabular form for the total area in square feet and acreage of the subdivision plan as submitted. See Form L.

1) The total area which is being subdivided.

2) The total area of lots.

3) The total areas dedicated for street purposes, drainage, sewer or utility easements.

4) The total of areas reserved for park, schools, and other public use.

5) The total area reserved for open space as defined in the Town of Holbrook Zoning Bylaws.

The Applicant requests a waiver from the requirement to show in tabular form the total area.

3.3.4.9. An environmental impact statement shall be filed in accordance with Section 10 and Schedule D with each definitive plan submission.

The Applicant requests a waiver from the requirement to prepare an Environmental Impact Statement

3.4.1.1 To facilitate review of the Definitive Plan by the appropriate authorities, at the time of filing of the Definitive Plan, the applicant shall stake the center line of all proposed streets a minimum of every fifty (50) feet with the center line stations and the cut or fill dimensions to finish grade marked on the stakes.

The Applicant requests a waiver from the requirement to stake the centerline of proposed Street.

4.1.5. Adequate Access from Public Way:

4.1.5.1. Where the street system within a subdivision does not connect with or have, in the opinion of the Planning Board, adequate access from a Town, County, or State (public) way, the Board may require as a condition of approval of a plan, that such adequate access be provided by the sub divider, and/or that the sub divider make physical improvements to and within such a way of access, in accordance with the provisions of Section 5.0. of these regulations, from the boundary of the subdivision to a Town, County or State way.

Though the Applicant does not believe such a waiver is necessary, because the project will connect to Gioioso Drive which will provide adequate access, if the Board feels that a waiver is required the Applicant requests a waiver from the requirement to connect with nor make improvements to the remaining Sherrick Avenue Extension to Blair Road.

4.2.1.7 All curbed streets must be designed to permit safe vehicular travel. A minimum two hundred (200) foot length tangent shall be provided between the PT of one curve and the PC of any following curve.

The Applicant requests a waiver from any requirement to provide a minimum two hundred (200) foot length tangent.

4.2.2.1 On all classification of streets, the following characteristics shall be the minimum acceptable. Provisions for narrower pavement widths and smaller cul-de-sacs may be made by the Planning Board for developments employing accepted "traffic calming measures".

The Applicant requests a waiver from the standard width roadway, so as to allow a twenty four (24) foot pavement.

SECONDARY: R.O.W. 50' wide, Grass Plot 5' wide

The applicant requests a waiver from the requirement to provide a roadway ROW width of 50' or any 5' wide grass plots, as noted in the table of Street Dimensions.

4.2.4.2. Property lines at right-of-way intersections shall be cut back to provide for a curb radius on the roadway of not less than thirty (30) feet, except where the angle of intersection varies more than ten degrees from a right angle, in which case the radii of the curve connecting the acute angle may be less and the opposite radius must be correspondingly greater.

The Applicant requests a waiver from the requirement to provide a thirty (30) foot curb radius.

4.5 Open Space:

4.5.1. ... in proper case, requires the plan to show a park...

The Applicant requests a waiver from any requirement to show a park.

4.8 Fire Hydrants

4.8.1. ...and be provided every five hundred (500) running feet on one side of each street

The Applicant request a waiver from the requirement for a hydrant every (500) feet to allow for a spacing of (511) feet

4.9.2.1 Sidewalks, Grass plots, trees, curb and berms shall be shown in accordance with cross section and the requirements of Section 5.0.

The Applicant requests a waiver from the requirement to show sidewalks, grass plots, trees, curbs and berms as shown in the typical cross section in Section 5.0.

4.12.1 Where an infiltration or detention basin is shown on the plan, it shall be situated on its own lot and not part of a building lot but may be accessed by an easement available to the town for access for such maintenance. Storm water management structures other than catch basins, manholes and conveyance piping are not to be installed in the roadway right of way.

The applicant request a waiver to allow the detention basins to be in easements to be granted to the Town in lieu of a separate lot.

5.3.7.3. Mailboxes shall be clustered at a location that is approved by the Planning Board and in accordance with postal regulations.

The Applicant requests a waiver from the requirement to provide a clustered mailbox.

5.4 Sidewalks

5.4.1 Sidewalks shall be constructed within the subdivision, separated from the pavement area by a seeded grass plot. See Section 5.7. When unusual topographic conditions require, the Board may approve the placement of a sidewalk at a greater distance from the roadway or at a higher or lower elevation in relation thereto, provided such variation is indicated on the Definitive Plan and accompanying cross-sections. See Section 4.9

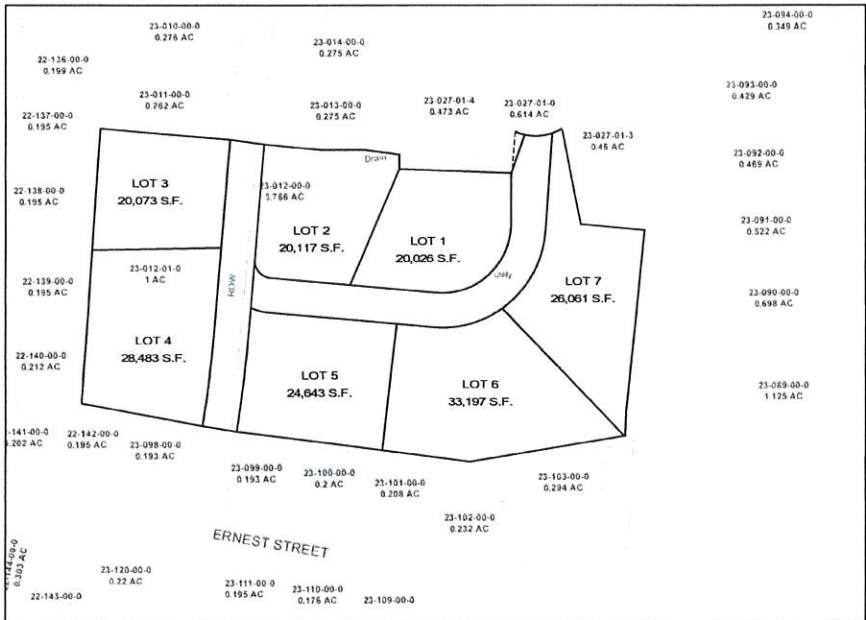
The Applicant requests a waiver from the requirement to separate the sidewalk by a seeded grass plot, but install sidewalk adjacent to granite curbing.

5.7.4 Street light stanchions and street lights shall be located at least ten (10) feet from the edge of the roadway in the grass plot or in the median, if there is one, but shall not be nearer than twenty-five (25) feet from the intersection of two (2) streets, measured from the intersection of the tangents of the intersecting street curb lines. If street lights are located in the median, the Board may require pedestrian lighting placed in the grass plot. See also Section 5.11. Street lights shall be installed to meet criteria set by the Board of Selectmen and installed in accordance with the Department of Public Works' specifications. The developer shall establish an account with the Board of Selectmen to cover the cost of required street lighting for a period of two (2) years. This account must be in place prior to applying for occupancy permits.

The applicant requests a waiver from the requirement to locate street lights in back of sidewalk and at locations as shown on plan.

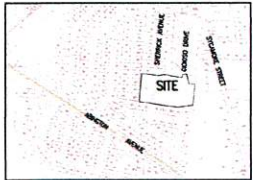
5.8.1. Street trees of a species approved by the Planning Board shall be planted on each side of each street in a subdivision, except where the Definitive Plan showed trees to be retained which are healthy and adequate. Such trees shall be located outside of the right-of-way inside of a ten (10') foot wide easement approximately at forty (40') foot intervals, and shall be at least twelve (12) feet in height, two (2') inches in caliper measured four (4') feet above the approved grade, and shall not be closer than five (5) feet nor more than ten (10) feet from said right-of-way line. Trees shall be planted in accordance with the Standard specifications.

The Applicant requests a waiver from the requirement to plant street trees.



KEY PLAN

SCALE: 1"=200'



LOCUS MAP

SCALE: 1"=1000'



PLAN INDEX

SHEET 1:	COVER SHEET
SHEET 2:	EXISTING CONDITIONS
SHEET 3:	LOT LAYOUT PLAN
SHEET 4:	GRADING AND DRAINAGE
SHEET 5:	UTILITIES AND SIGNAGE
SHEET 6:	ROADWAY PLAN AND PROFILE
SHEET 7:	DETAILS ROADWAY
SHEET 8:	DETAILS WATER
SHEET 9:	DETAILS SEWER
SHEET 10:	DETAILS DRAINAGE
SHEET 11:	CONSTRUCTION PERIOD
SHEET 12:	GROUND WATER RECHARGE

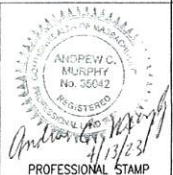
ZONING SCHEDULE

ZONING: R-3

LOT AREA 20,000 S.F.  
LOT FRONTAGE 125.00 FT.

BUILDING SETBACKS:

FRONT 25.00 FT.  
SIDE 15.00 FT.  
REAR 25.00 FT.



DEFINITIVE PLAN GIOIOSO DRIVE EXTENTION COVER SHEET PLAN OF LAND 85-86 SHERRICK AVENUE HOLBROOK, MA 02343	
GIOIOSO BROS., INC. 50 SPRAGUE STREET HYDE PARK, MA 02136 fgioioso@pgioioso.com	GLOSSA ENGINEERING, INC. 46 EAST ST EAST WALPOLE, MA 02032 glossaeng@aol.com
DATE: AUGUST 26, 2021 SCALE: AS SHOWN PROJECT: SHEET 1 OF 12	
REVISIONS: No. DATE PER TOWN COMMENTS 1 3-3-22 PER TOWN COMMENTS 2 6-3-22 PER TOWN COMMENTS 3 8-3-22 PER TOWN COMMENTS 4 8-30-22 PER TOWN COMMENTS 5 10-17-22 PER TOWN COMMENTS 6 3-13-23 PER TOWN COMMENTS	

APPROVED: \_\_\_\_\_  
ENDORSED: \_\_\_\_\_

I, \_\_\_\_\_, CLERK OF THE TOWN OF  
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APPROVAL OF THIS PLAN AND NO APPEAL HAS  
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HOLBROOK TOWN CLERK

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HEREWITH.

NOTE:  
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DEFINITIVE PLAN  
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EXISTING CONDITIONS  
PLAN OF LAND  
85-86 SHERRICK AVENUE  
HOLBROOK, MA 02343

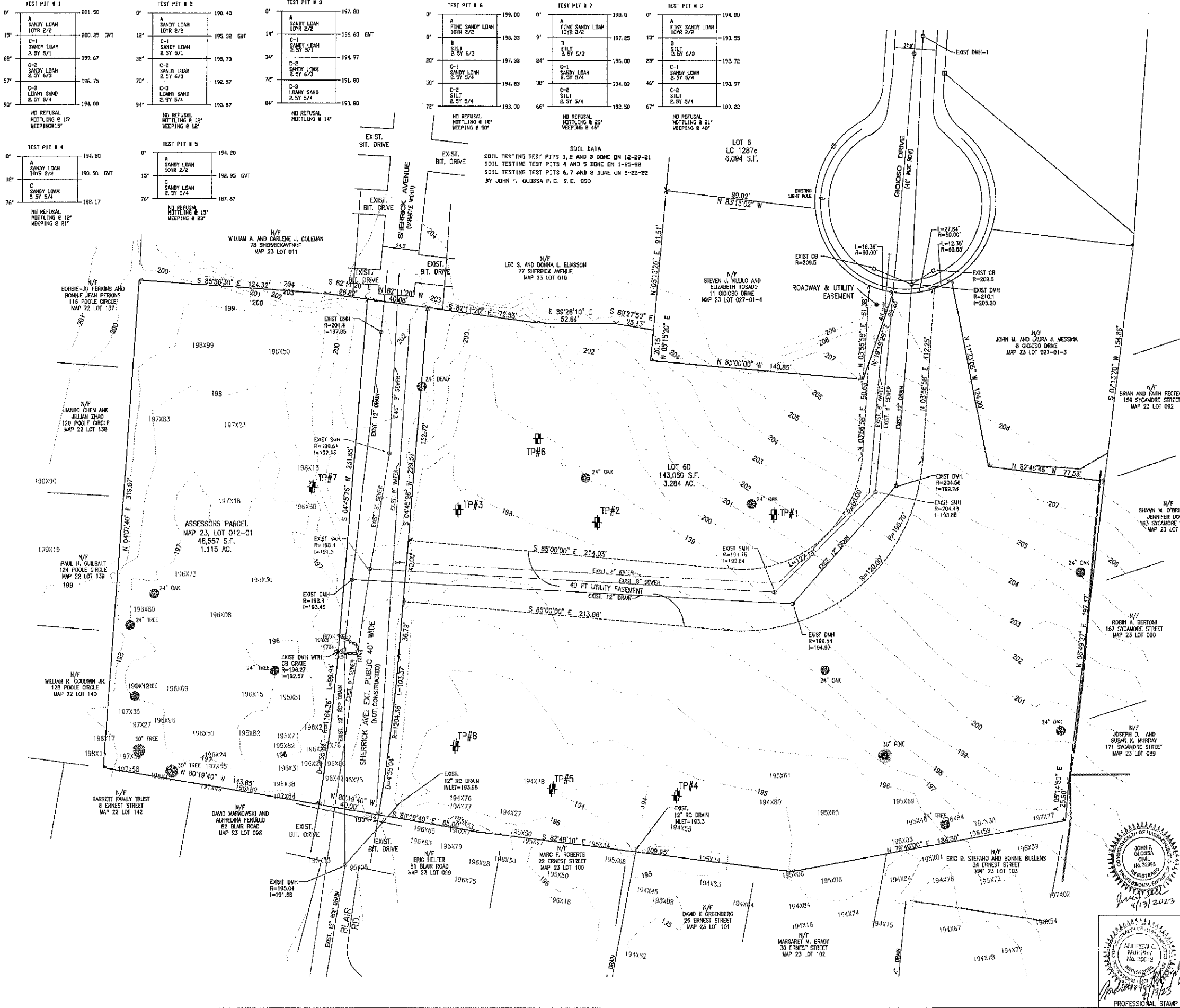
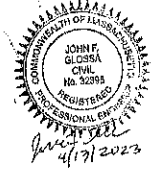
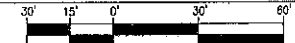
GIOIOSO BROS., INC.  
50 SPRAGUE STREET  
HYDE PARK, MA 02136  
fgioioso@pgioioso.com

GLOSSA ENGINEERING, INC.  
46 EAST ST  
EAST WALPOLE, MA 02032  
glossaeng@aol.com

REVISIONS:

No.	DATE	PER TOWN COMMENTS
1	3-1-22	PER TOWN COMMENTS
2	3-1-22	PER TOWN COMMENTS
3	3-1-22	PER TOWN COMMENTS
4	3-1-22	PER TOWN COMMENTS
5	3-1-22	PER TOWN COMMENTS

SHEET 2 OF 12



LEDGEND:

EXISTING BOUND   
 PROPOSED BOUND   
 PROPOSED EASEMENT   
 PROPOSED 2-RAIL SPLIT RAIL FENCE

NOTE:  
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I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN  
 CONFORMITY WITH THE RULES AND REGULATIONS OF  
 THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF  
 MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

ASSESSOR'S REFERENCE:  
 MAP 23, LOT 012 AND MAP 23, LOT 012-01

DEED REFERENCE:  
 BOOK 36803, PAGE 422

PLAN REFERENCE:  
 PLAN BOOK 692, PAGE 70  
 PLAN BOOK 206, PAGE 151  
 PLAN BOOK 384, PAGE 760  
 DEED BOOK 3031, PAGE 405  
 DEED BOOK 3327, PAGE 351  
 PLAN BOOK 202, PAGE 1116  
 PLAN BOOK 190, PAGE 1340  
 PLAN BOOK 420, PAGE 183  
 LAND COURT PLAN 1287C  
 LAND COURT PLAN 7832N

ZONING:  
 RESIDENCE III

LOT AREA 20,000 S.F.  
 LOT FRONTAGE 125.00 FT.

BUILDING SETBACKS:  
 FRONT 30.00 FT.  
 SIDE 15.00 FT.  
 REAR 30.00 FT.

DEFINITIVE PLAN  
 GIOIOSO DRIVE EXTENSION  
 LOT LAYOUT  
 PLAN OF LAND  
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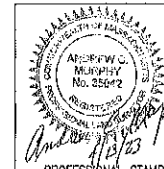
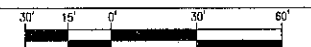
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3	6-3-22	PER TOWN COMMENTS
4	8-30-22	PER TOWN COMMENTS
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DATE: AUGUST 26, 2021

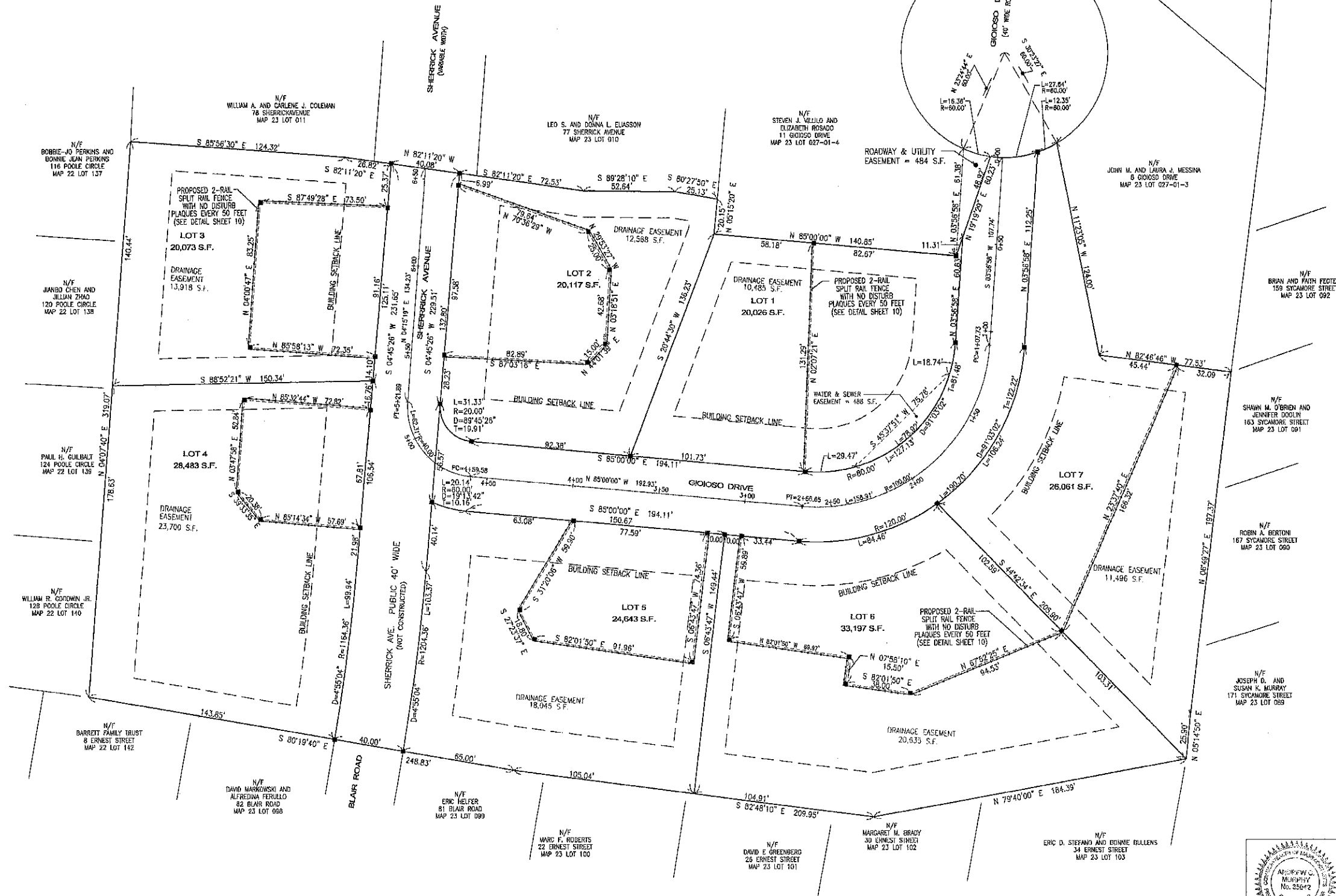
SCALE: 1"=30'

PROJECT:

SHEET 3 OF 12

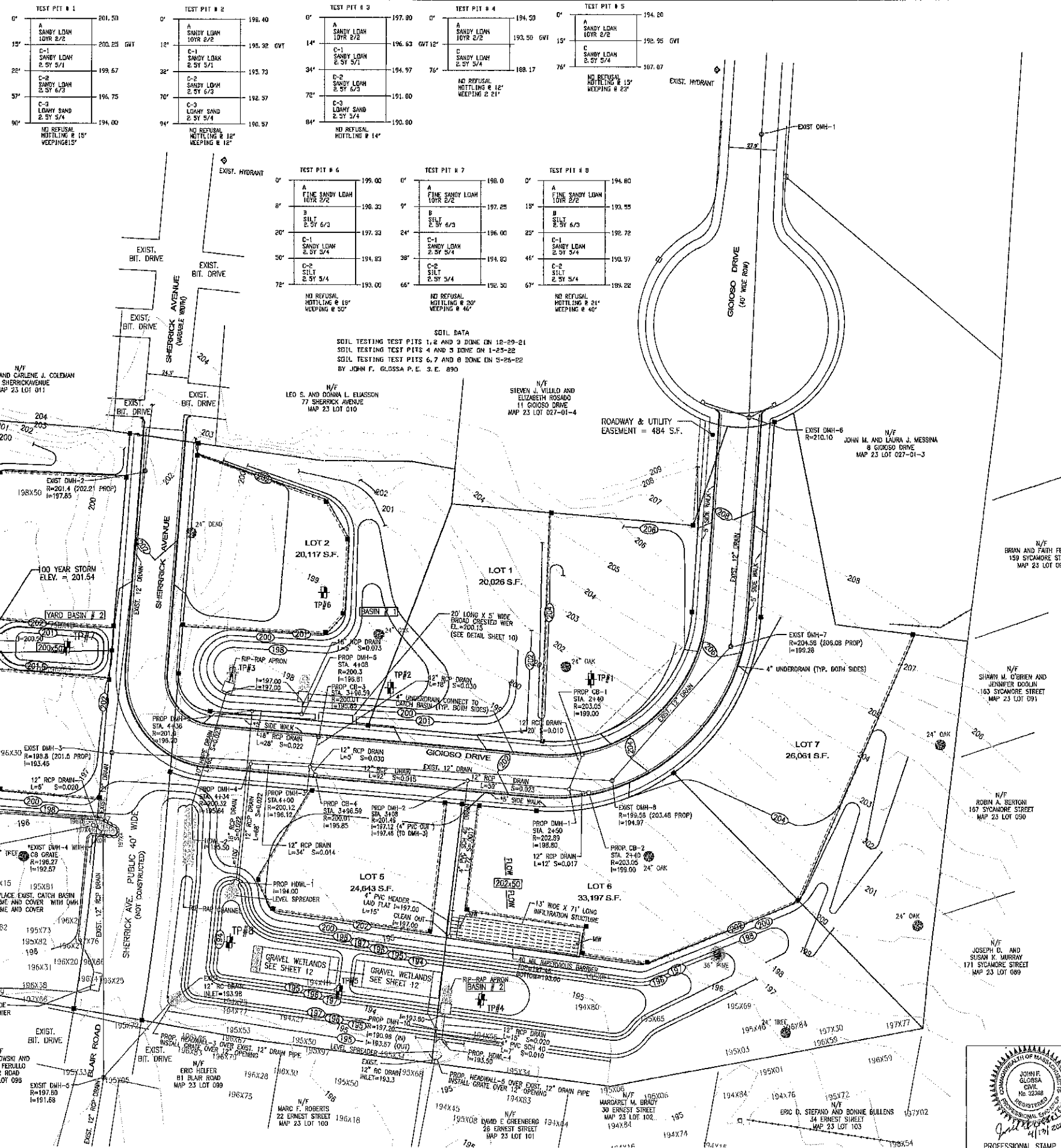
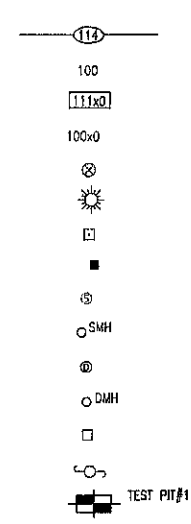


FOR REGISTRY USE ONLY





- LEDGEND:
- PROPOSED GRADE
  - EXISTING GRADE
  - PROPOSED SPOT GRADE
  - EXISTING SPOT GRADE
  - PROPOSED CURB STOP
  - PROPOSED STREET LIGHT
  - EXISTING BOUND
  - PROPOSED BOUND
  - EXISTING SEWER MANHOLE
  - PROP. SEWER MANHOLE
  - EXISTING DRAIN MANHOLE
  - PROPOSED DRAIN MANHOLE
  - PROPOSED CATCH BASIN
  - EXISTING UTILITY POLE
  - EXISTING TEST PIT
  - VERTICLE GRANITE CURBING
  - PROPOSED POST AND RAIL FENCE



HOLBROOK PLANNING BOARD

APPROVED: \_\_\_\_\_

ENDORSED: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF HOLBROOK RECEIVED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY (20) DAYS NEXT AFTER RECEIPT OF SAME.

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GRADING AND DRAINAGE  
PLAN OF LAND  
85-86 SHERRICK AVENUE  
HOLBROOK, MA 02343

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DATE: AUGUST 26, 2021  
SCALE: 1"=30'  
PROJECT: \_\_\_\_\_

SHEET 4 OF 12

REVISIONS:

No.	DATE	DESCRIPTION
1	8-1-22	PER TOWN COMMENTS
2	8-1-22	PER TOWN COMMENTS
3	8-1-22	PER TOWN COMMENTS
4	8-30-22	PER TOWN COMMENTS
5	10-17-22	PER TOWN COMMENTS
6	3-12-23	PER TOWN COMMENTS

JOHNIE GLOSSA  
CIVIL  
No. 2038  
PROFESSIONAL STAMP

LEDGEND:

- PROPOSED STREET LIGHT
- EXISTING BOUND
- PROPOSED BOUND
- EXISTING SEWER MANHOLE
- PROP. SEWER MANHOLE
- EXISTING UTILITY POLE
- VERTICLE GRANITE CURBING
- PROPOSED SIGN
- PROPOSED SEWER SERVICE
- PROPOSED WATER SERVICE
- PROPOSED CURB STOP

TYPICAL HEIGHTS AND LATERAL LOCATIONS OF SIGN INSTALLATIONS  
ROADSIDE SIGN IN RURAL AREA  
(NO SCALE)



HOLBROOK PLANNING BOARD

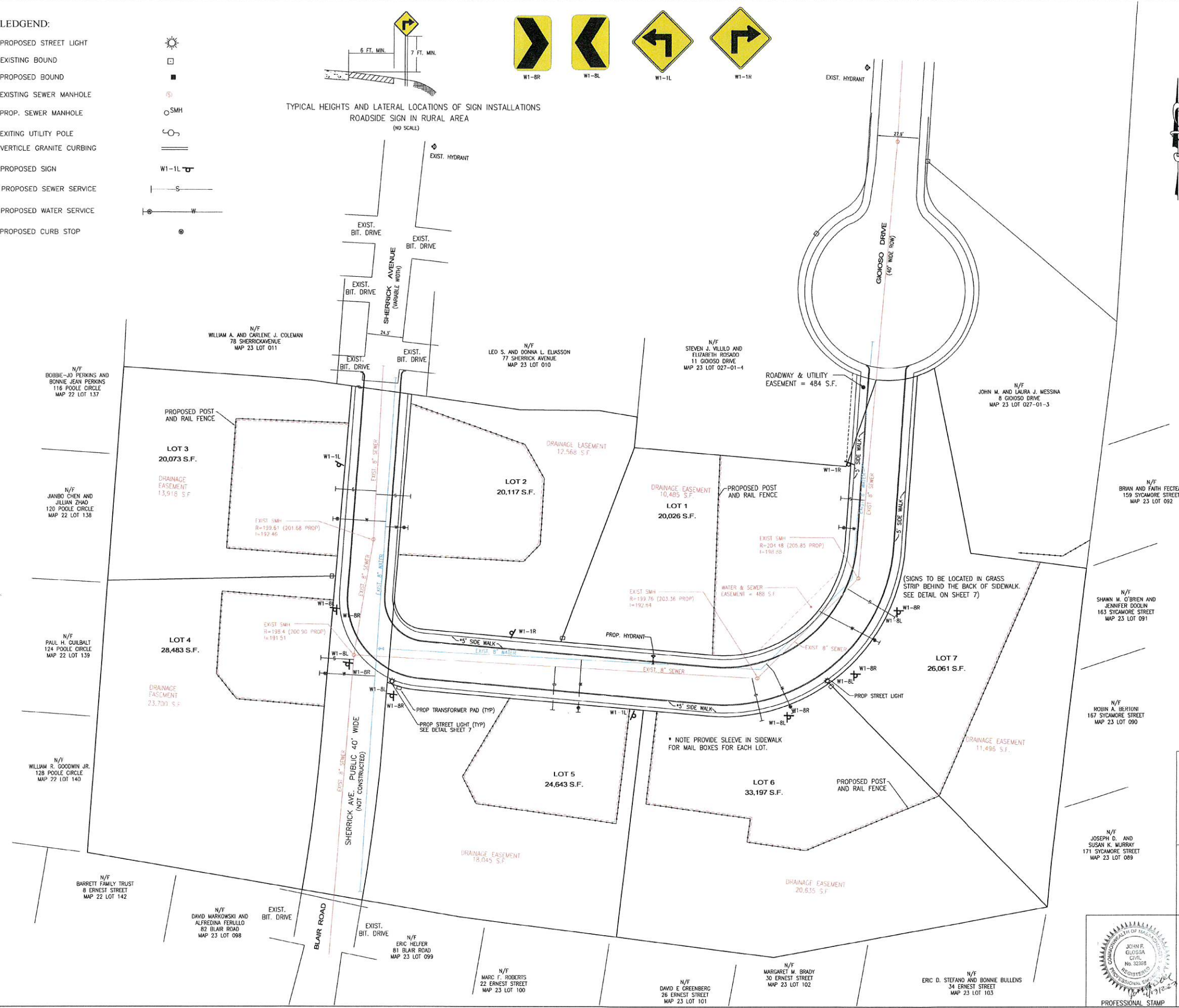
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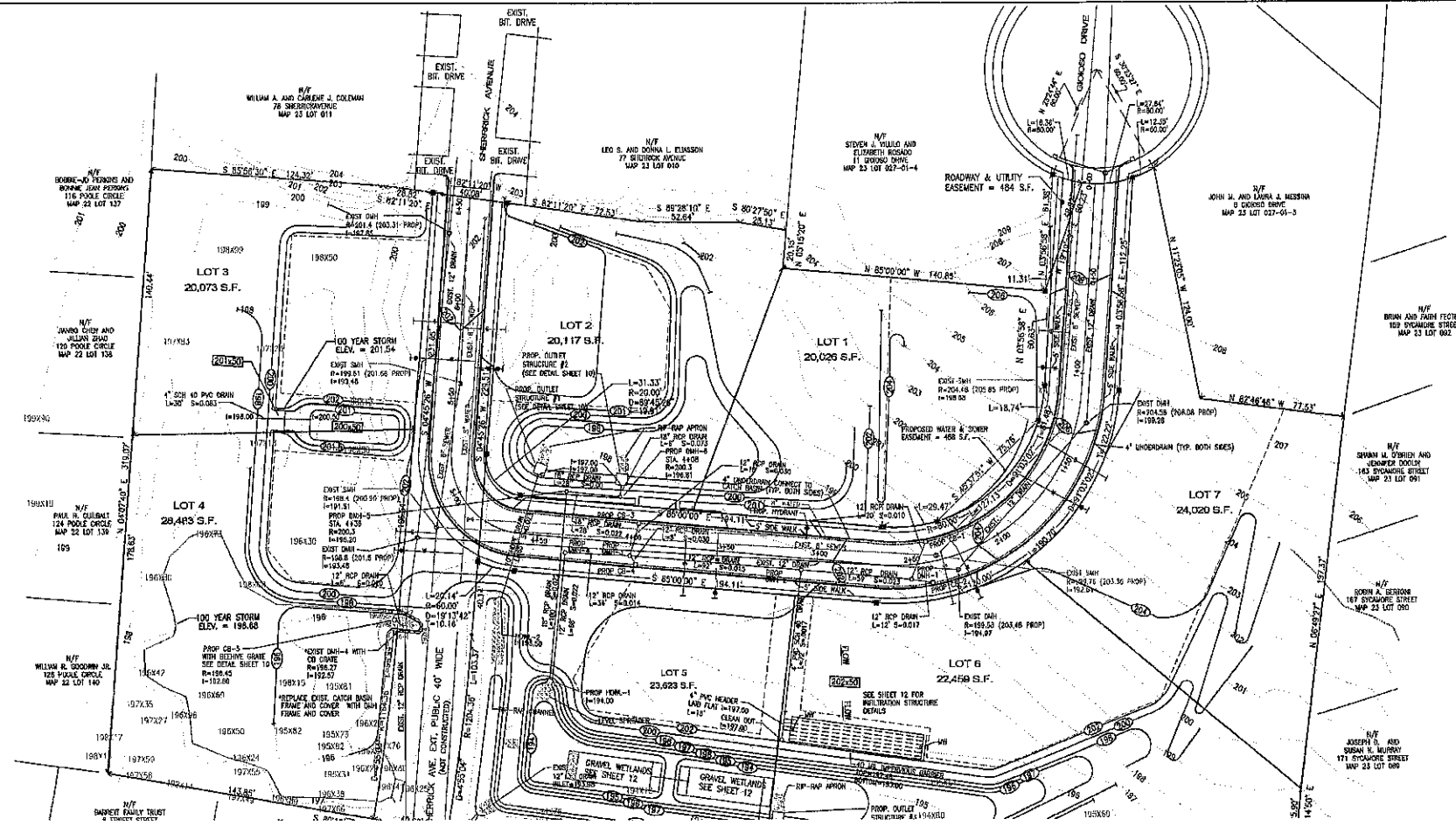
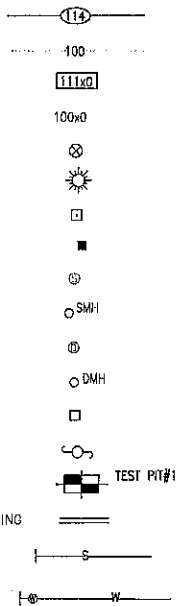
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No.	DATE:	PER TOWN COMMENTS
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4	8-30-22	PER TOWN COMMENTS
5	10-11-22	PER TOWN COMMENTS
6	3-15-23	PER TOWN COMMENTS

DATE: AUGUST 26, 2021  
SCALE: 1"=30'  
PROJECT:

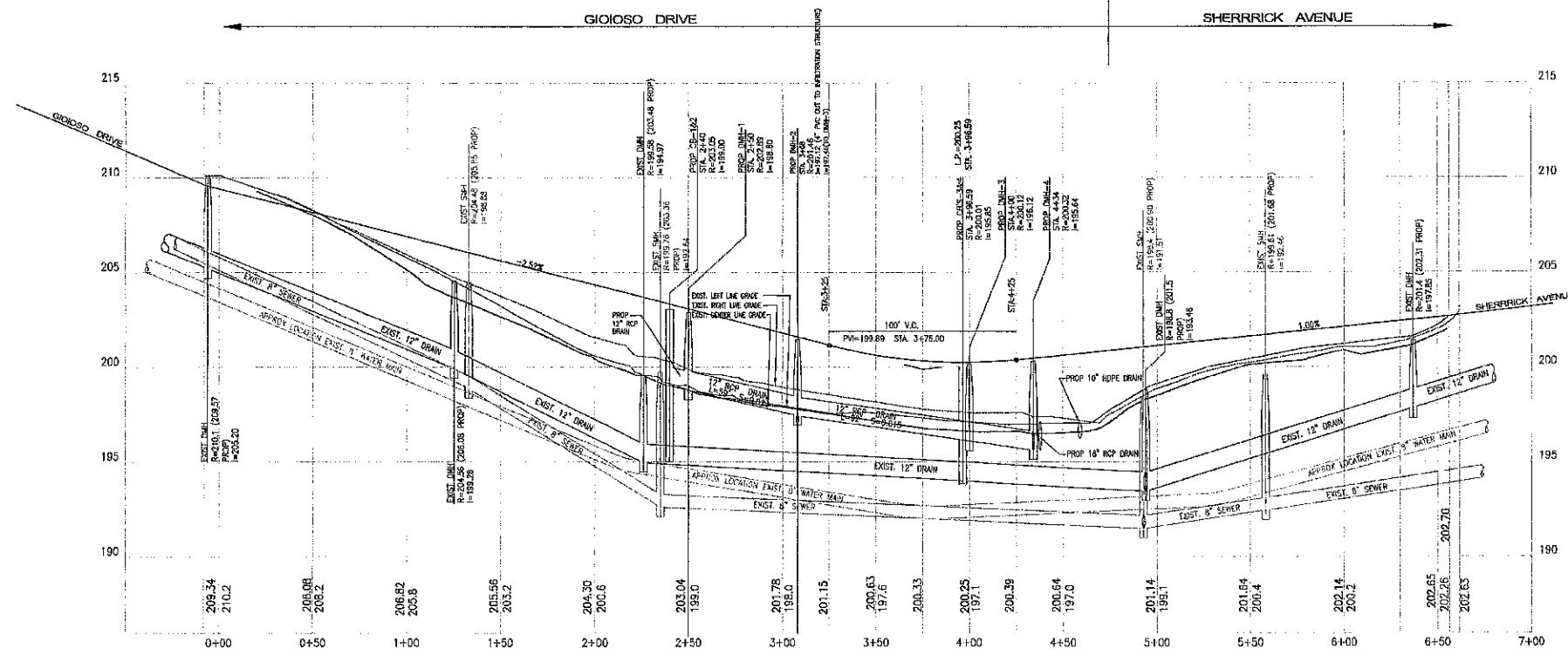
SHEET 5 OF 12



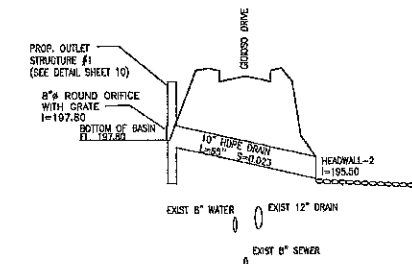
- LEDGEND:
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- EXISTING UTILITY POLE
- EXISTING TEST PIT
- PROPOSED VERTICLE GRANITE CURBING
- PROPOSED SEWER SERVICE
- PROPOSED WATER SERVICE
- PROPOSED CURB STOP



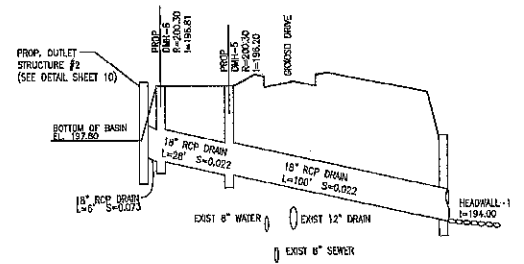
PLAN  
SCALE: 1"=40'



PROFILE  
SCALE: 1"=40' HOR.  
1"=4' VER.



PROFILE  
OUTLET STRUCTURE #1 IN BASIN #1 TO HEADWALL-2  
SCALE: 1"=40' HOR.  
1"=4' VER.



PROFILE  
OUTLET STRUCTURE #2 IN BASIN #1 TO HEADWALL-1  
SCALE: 1"=40' HOR.  
1"=4' VER.

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PLAN AND PROFILE  
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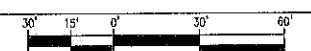
GLOSSA ENGINEERING, INC.  
46 EAST ST  
EAST WALPOLE, MA 02032  
glossaeng@aol.com

REVISIONS:

No.	DATE	REVISION
1	8-23-21	PER TOWN COMMENTS
2	8-23-21	PER TOWN COMMENTS
3	8-23-21	PER TOWN COMMENTS
4	8-23-21	PER TOWN COMMENTS
5	8-23-21	PER TOWN COMMENTS
6	8-23-21	PER TOWN COMMENTS

DATE: AUGUST 25, 2021  
SCALE: AS NOTED  
PROJECT:

SHEET 6 OF 12



HOLBROOK PLANNING BOARD

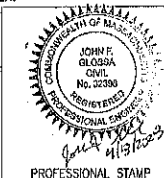
APPROVED: \_\_\_\_\_  
ENDORSED: \_\_\_\_\_

I, \_\_\_\_\_, CLERK OF THE TOWN OF  
HOLBROOK RECEIVED FROM THE PLANNING BOARD  
APPROVAL OF THIS PLAN AND NO APPEAL HAS  
BEEN TAKEN FOR TWENTY (20) DAYS NEXT AFTER  
RECEIPT OF SAME.

HOLBROOK TOWN CLERK

APPROVAL REQUIRED UNDER SUBDIVISION CONTROL LAW BY THE TOWN OF  
HOLBROOK PLANNING BOARD (ENDORSEMENT OF THIS PLAN DOES NOT  
INDICATE THAT THE PROPOSED LOTS ARE BUILDABLE OR THAT THEY MEET  
ZONING, HEALTH, CONSERVATION OR GENERAL BY-LAW REQUIREMENTS.  
PLANNING BOARD ENDORSEMENT OF THIS PLAN DOES NOT CONSTITUTE AN  
INTERPRETATION OF ZONING)  
THIS PLAN IS SUBJECT TO A COVENANT RECORDED AT THE NORFOLK  
COUNTY REGISTRY OF DEEDS AS DOCUMENT NO. \_\_\_\_\_. THE  
APPROVAL OF THIS PLAN IS SUBJECT TO CONDITIONS TO BE RECORDED  
HEREWITH.

NOTE:  
ON JUNE 2, 2021 MA DEP ISSUED A SUPERSEDING DETERMINATION OF  
APPLICABILITY (SDA). THIS DETERMINATION FOUND THE PROPOSED  
SUBDIVISION AREA IS NOT SUBJECT TO THE MASSACHUSETTS WETLANDS  
PROTECTION ACT (M.G.L. CHAPTER 131, SECTION 40) AND ITS  
IMPLEMENTING REGULATIONS (310 CMR 10.00).



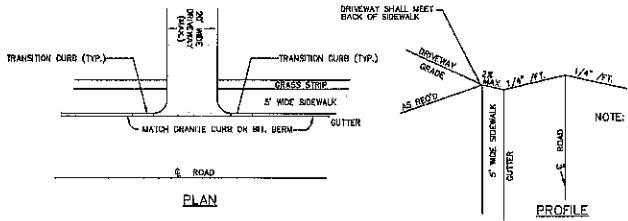
APPROVED: \_\_\_\_\_  
ENDORSED: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF  
HOLBROOK RECEIVED FROM THE PLANNING BOARD  
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RECEIPT OF SAME.

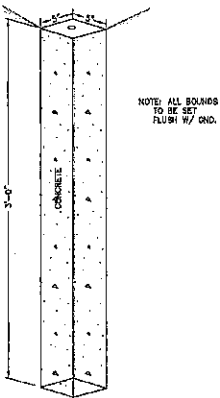
HOLBROOK TOWN CLERK

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HOLBROOK PLANNING BOARD (ENDORSEMENT OF THIS PLAN DOES NOT  
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COUNTY REGISTRY OF DEEDS AS DOCUMENT NO. \_\_\_\_\_ THE  
APPROVAL OF THIS PLAN IS SUBJECT TO CONDITIONS TO BE RECORDED  
HEREWITH.

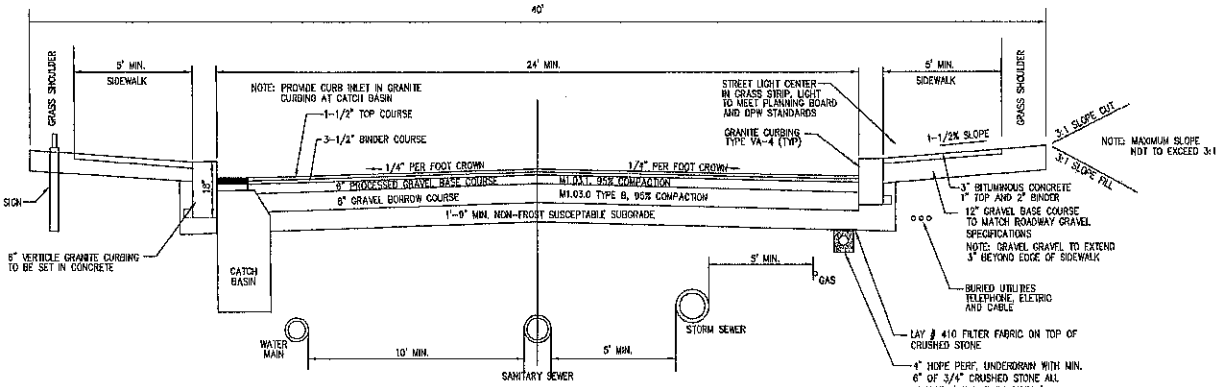
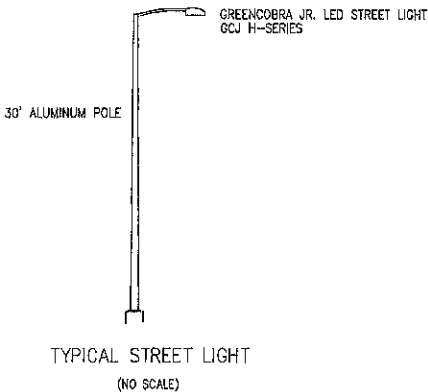
NOTE:  
ALL ROADWAY CONSTRUCTION SHALL CONFORM TO THE TOWN OF  
HOLBROOK DPW SPECIFICATIONS, STANDARDS AND RULES AND REGULATIONS  
EXCEPT AS MAY BE MODIFIED BY THE APPROVAL OF THIS PLAN.



TYPICAL MINOR DRIVEWAY DETAIL  
(NO SCALE)



CONCRETE MONUMENT DETAIL  
(NO SCALE)



TYPICAL 40' WIDE CROSS SECTION  
(NO SCALE)

- NOTES:
- MASSDOT SPECIFICATION M1.09.0 RECLAIMED PAYMENT BORROW MATERIAL MAY BE SUBSTITUTED FOR THE TOP SIX INCHES OF GRAVEL IF APPROVED BY THE PLANNING BOARD AND DPW SUPERINTENDENT.
  - ALL STRUCTURE CASTINGS ARE TO BE SET AT BINDER GRADE BEFORE OR IMMEDIATELY AFTER PLACEMENT OF THE BINDER COURSE. CASTINGS ARE TO BE RAISED TO FINISH GRADE NO MORE THAN 30 DAYS PRIOR TO PLACEMENT OF THE TOP COURSE OF PAVEMENT.
  - BINDER TO BE MASSDOT "DENSE BINDER"

DEFINITIVE PLAN  
GIOIOSO DRIVE EXTENTION  
ROADWAY DETAILS  
PLAN OF LAND  
85-86 SHERRICK AVENUE  
HOLBROOK, MA 02343

GIOIOSO BROTHERS, INC.  
50 SPRAGUE STREET  
HYDE PARK, MA 02136  
fgioioso@pgioioso.com

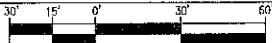
GLOSSA ENGINEERING, INC.  
46 EAST ST  
EAST WALPOLE, MA 02032  
glossaeng@aol.com



REVISIONS:	
No.	DATE:
1	3-3-22
2	6-3-22
3	8-3-22
4	8-30-22
5	10-17-22
6	3-13-23

DATE: AUGUST 26, 2021  
SCALE: NO SCALE  
PROJECT:

SHEET 7 OF 12





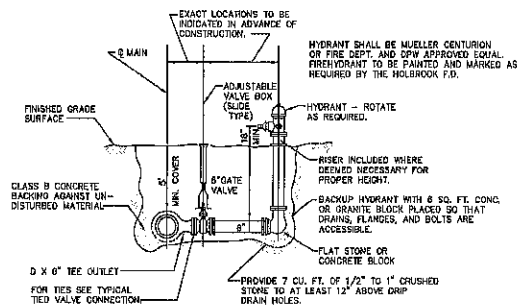
APPROVED: \_\_\_\_\_  
ENDORSED: \_\_\_\_\_

I, \_\_\_\_\_, CLERK OF THE TOWN OF  
HOLBROOK RECEIVED FROM THE PLANNING BOARD  
APPROVAL OF THIS PLAN AND NO APPEAL HAS  
BEEN TAKEN FOR TWENTY (20) DAYS NEXT AFTER  
RECEIPT OF SAME.

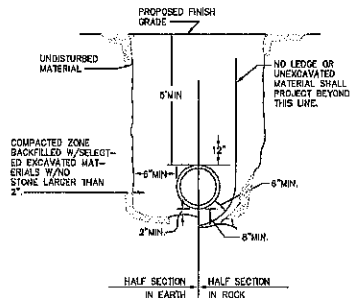
HOLBROOK TOWN CLERK

APPROVAL REQUIRED UNDER SUBMISSION CONTROL LAW BY THE TOWN OF  
HOLBROOK PLANNING BOARD (ENDORSEMENT OF THIS PLAN DOES NOT  
INDICATE THAT THE PROPOSED LOTS ARE BUILDABLE OR THAT THEY MEET  
ZONING, HEALTH, CONSERVATION OR GENERAL BY-LAW REQUIREMENTS.  
PLANNING BOARD ENDORSEMENT OF THIS PLAN DOES NOT CONSTITUTE AN  
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THIS PLAN IS SUBJECT TO A COVENANT RECORDED AT THE NORFOLK  
COUNTY REGISTRY OF DEEDS AS DOCUMENT NO. \_\_\_\_\_. THE  
APPROVAL OF THIS PLAN IS SUBJECT TO CONDITIONS TO BE RECORDED  
HEREWITH.

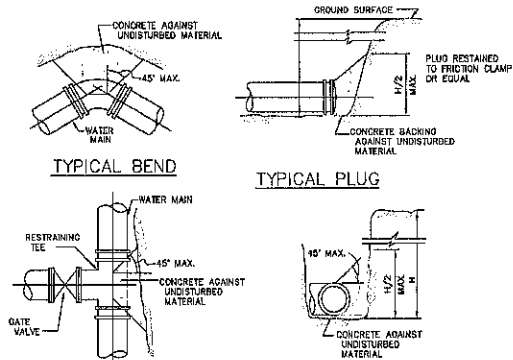
NOTE:  
ALL WATERMAIN CONSTRUCTION AND APPURTENANCES SHALL CONFORM TO  
THE TOWN OF HOLBROOK DPW SPECIFICATIONS, STANDARDS AND RULES  
AND REGULATIONS.



TYPICAL HYDRANT ASSEMBLY DETAIL  
NOT TO SCALE



WATER MAIN TRENCH DETAIL  
NOT TO SCALE

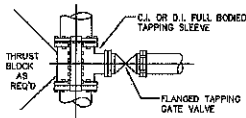


TYPICAL BEND  
TYPICAL PLUG  
TYPICAL TEE  
TYPICAL SECTION

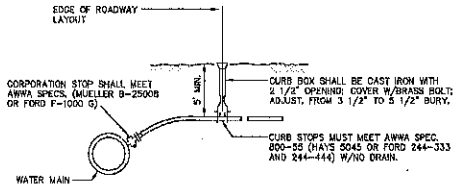
NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE  
NO LONGER THAN THE RATIO OF 2 1/2 : 1 : 1/2  
AND SHALL HAVE A MINIMUM COMPRESSION  
STRENGTH OF 2000 PSI (SO THAT FLANGES  
AND BOLTS ARE ACCESSIBLE).

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/2 BEND OR LESS	PLUG TEES
6 AND 8	5	8	8	8
10 AND 12	22	13	5	16

TYPICAL THRUST BLOCK DETAIL  
NOT TO SCALE



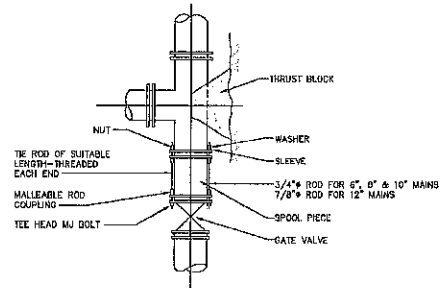
TAPPING SLEEVE AND  
VALVE DETAILS  
NOT TO SCALE



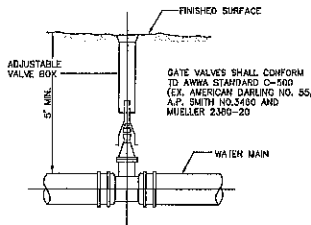
NOTE:  
COPPER TUBING SHALL MEET AWWA SPEC.  
75-OR TYPE K OR FEDERAL SPEC. HWY-759  
TYPE K.

1 1/2" AND LARGER SERVICES ARE REQUIRED  
TO HAVE A SADDLE.

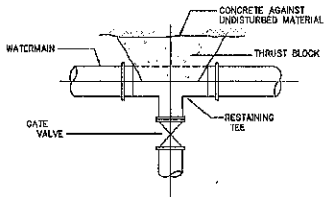
TYPICAL SERVICE CONNECTION  
NOT TO SCALE



TYPICAL TIED MECHANICAL JOINT  
VALVE CONNECTION DETAILS  
NOT TO SCALE



TYPICAL GATE VALVE  
NOT TO SCALE

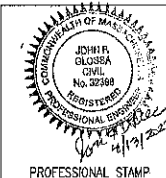


TYPICAL LATERAL GATE VALVE  
CONNECTION DETAILS  
NOT TO SCALE

DEFINITIVE PLAN  
GIOIOSO DRIVE EXTENTION  
WATER DETAILS  
PLAN OF LAND  
85-86 SHERRICK AVENUE  
HOLBROOK, MA 02343

GIOIOSO BROTHERS, INC.  
50 SPRAGUE STREET  
HYDE PARK, MA 02136  
fgioioso@pgioioso.com

GLOSSA ENGINEERING, INC.  
46 EAST ST  
EAST WALPOLE, MA 02032  
glossaeng@aol.com



REVISIONS:

No.	DATE:	PER TOWN COMMENTS
1	2-1-22	PER TOWN COMMENTS
2	2-1-22	PER TOWN COMMENTS
3	2-1-22	PER TOWN COMMENTS
4	2-1-22	PER TOWN COMMENTS
5	2-1-22	PER TOWN COMMENTS
6	2-1-22	PER TOWN COMMENTS

DATE: AUGUST 26, 2021  
SCALE: NO SCALE  
PROJECT:

SHEET 8 OF 12





APPROVED: \_\_\_\_\_

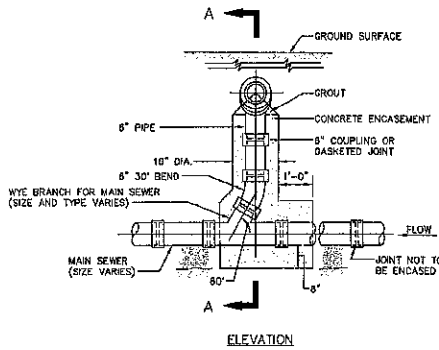
ENDORSED: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF  
HOLBROOK RECEIVED FROM THE PLANNING BOARD  
APPROVAL OF THIS PLAN AND NO APPEAL HAS  
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RECEIPT OF SAME.

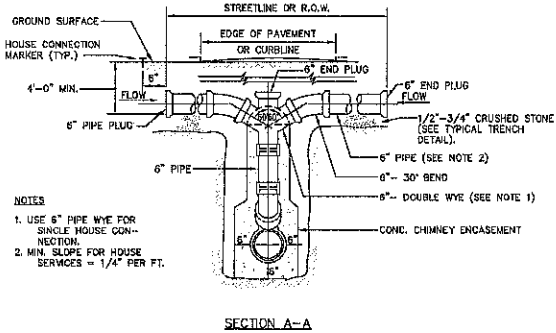
HOLBROOK TOWN CLERK

APPROVAL REQUIRED UNDER SUBDIVISION CONTROL LAW BY THE TOWN OF  
HOLBROOK PLANNING BOARD (ENDORSEMENT OF THIS PLAN DOES NOT  
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THIS PLAN IS SUBJECT TO A COVENANT RECORDED AT THE NORFOLK  
COUNTY REGISTRY OF DEEDS AS DOCUMENT NO. \_\_\_\_\_ . THE  
APPROVAL OF THIS PLAN IS SUBJECT TO CONDITIONS TO BE RECORDED  
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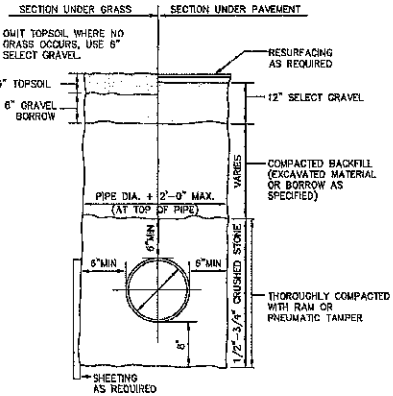
NOTE:  
ALL SEWER CONSTRUCTION AND APPURTENANCES SHALL CONFORM TO THE  
TOWN OF HOLBROOK DPW SPECIFICATIONS, STANDARDS AND RULES AND  
REGULATIONS.



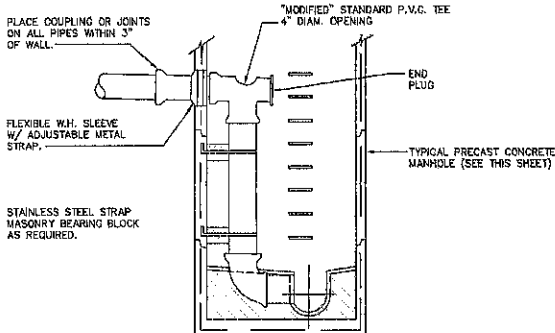
TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL  
(FOR MAIN SEWER OVER 6'-0" DEEP)  
NOT TO SCALE



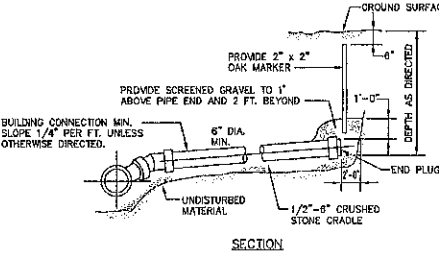
- NOTES
1. USE 6" PIPE WYE FOR SINGLE HOUSE CONNECTION.
  2. MIN. SLOPE FOR HOUSE SERVICES = 1/4" PER FT.



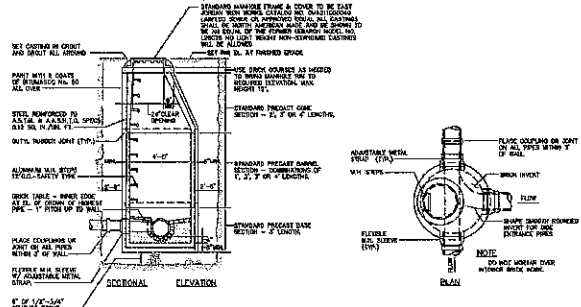
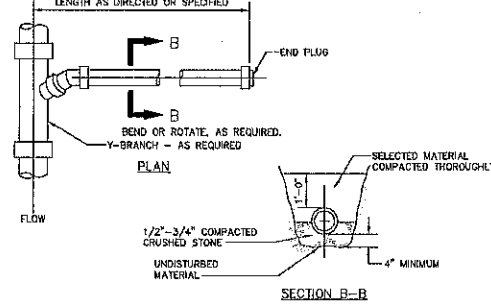
TYPICAL SEWER TRENCH DETAIL  
NOT TO SCALE



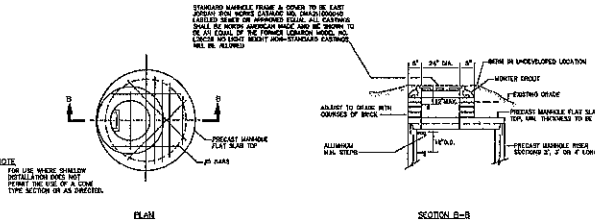
TYPICAL INSIDE DROP INLET MANHOLE DETAILS  
NOT TO SCALE



TYPICAL BUILDING CONNECTION  
NOT TO SCALE



TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS  
NOT TO SCALE

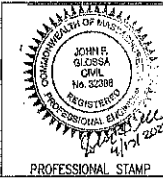


FLAT TOP SECTION  
NOT TO SCALE

DEFINITIVE PLAN  
GIOIOSO DRIVE EXTENTION  
SEWER DETAILS  
PLAN OF LAND  
85-86 SHERRICK AVENUE  
HOLBROOK, MA 02343

GIOIOSO BROS., INC.  
50 SPRAGUE STREET  
HYDE PARK, MA 02136  
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GLOSSA ENGINEERING, INC.  
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EAST WALPOLE, MA 02032  
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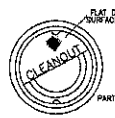
REVISIONS:

No.	DATE	PER TOWN COMMENTS
1	3-3-22	PER TOWN COMMENTS
2	6-3-22	PER TOWN COMMENTS
3	8-3-22	PER TOWN COMMENTS
4	8-30-22	PER TOWN COMMENTS
5	10-17-22	PER TOWN COMMENTS
6	1-13-23	PER TOWN COMMENTS

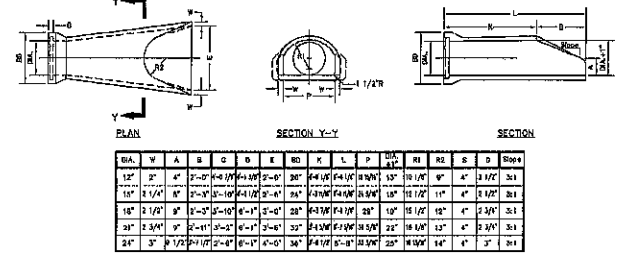
DATE: AUGUST 26, 2021  
SCALE: NO SCALE  
PROJECT:

SHEET 9 OF 12





MONITOR WELL CLEANOUT RING & COVER  
NEENAH R-1976 OR EQUAL  
(FOR MONITOR WELL AND CLEANOUT)



TYPICAL MONITOR WELL

DRAIN CLEANOUT DETAIL (C/O)

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

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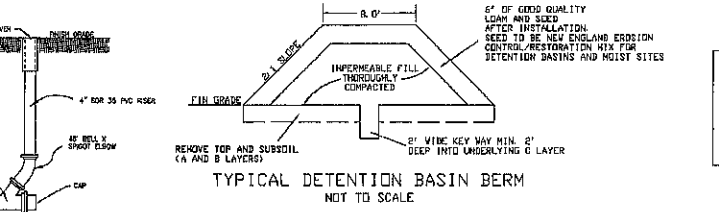
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NOT TO SCALE

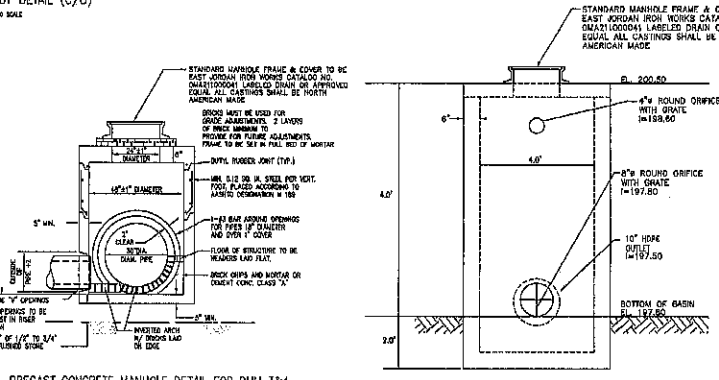
NOT TO SCALE

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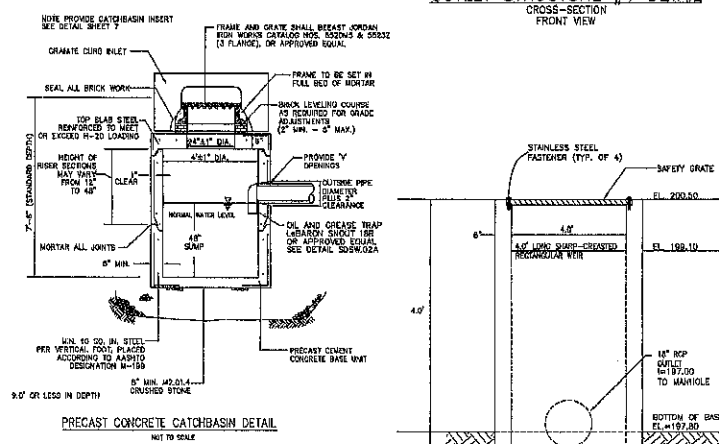
TYPICAL DETENTION BASIN BERM

NOT TO SCALE



PRECAST CONCRETE MANHOLE DETAIL FOR 36"

NOT TO SCALE

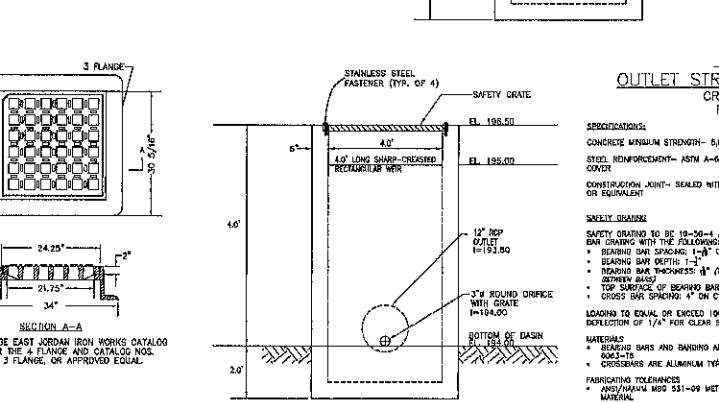


DETENTION BASIN 1  
OUTLET STRUCTURE #1 DETAIL

CROSS-SECTION

FRONT VIEW

NOT TO SCALE

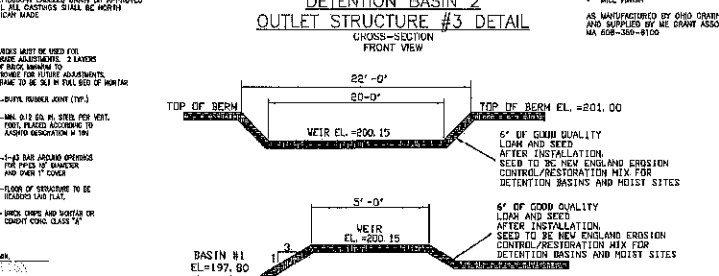


DETENTION BASIN 2  
OUTLET STRUCTURE #2 DETAIL

CROSS-SECTION

FRONT VIEW

NOT TO SCALE

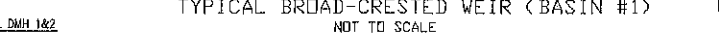


DETENTION BASIN 3  
OUTLET STRUCTURE #3 DETAIL

CROSS-SECTION

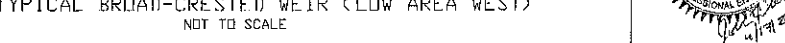
FRONT VIEW

NOT TO SCALE



TYPICAL BROAD-CRESTED WEIR (BASIN #1)

NOT TO SCALE



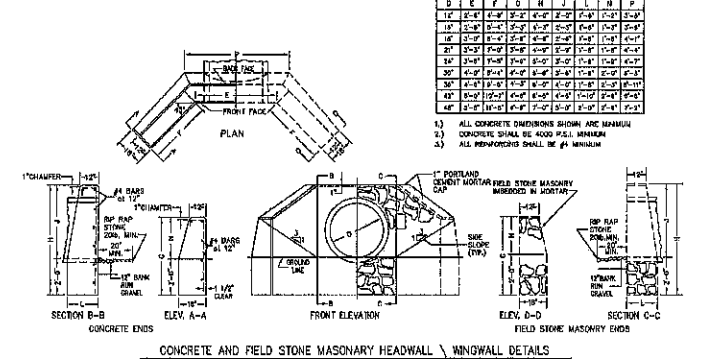
TYPICAL BROAD-CRESTED WEIR (LOW AREA WEST)

NOT TO SCALE



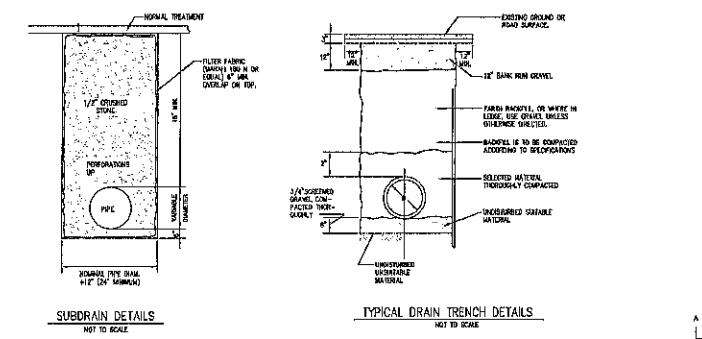
R.C.P. FLARED END SECTION DETAILS

NOT TO SCALE



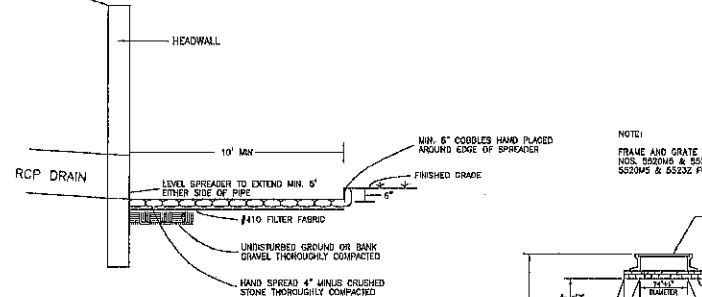
CONCRETE AND FIELD STONE MASONRY HEADWALL / WINGWALL DETAILS

NOT TO SCALE



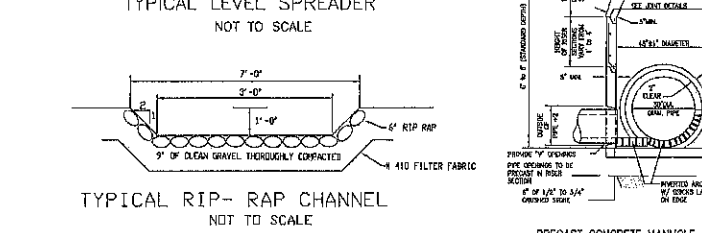
TYPICAL DRAIN TRENCH DETAILS

NOT TO SCALE



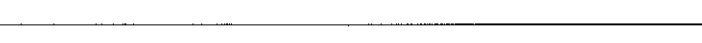
TYPICAL LEVEL SPREADER

NOT TO SCALE



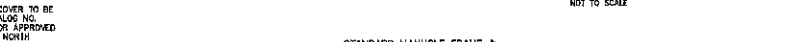
TYPICAL RIP-RAP CHANNEL

NOT TO SCALE



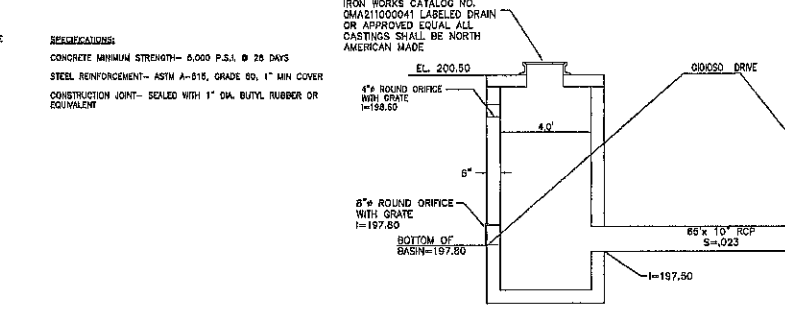
PRECAST CONCRETE MANHOLE DETAIL 48"

NOT TO SCALE



2-RAIL SPLIT RAIL FENCE DETAIL

NOT TO SCALE



TYPICAL NO DISTURB PLAQUE

NOT TO SCALE

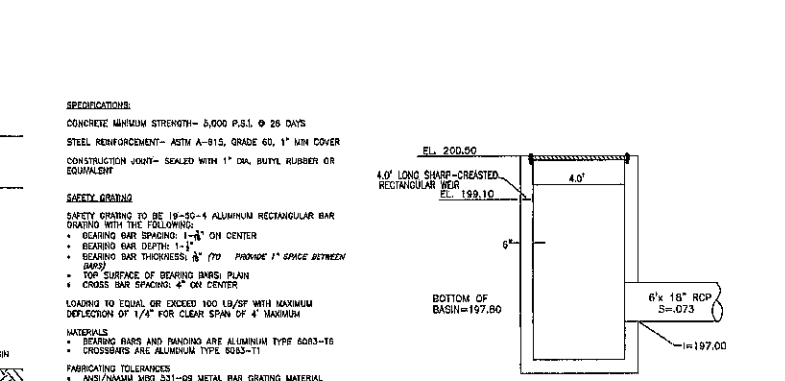


DETENTION BASIN-1  
OUTLET STRUCTURE #1 DETAIL

CROSS-SECTION

FRONT VIEW

NOT TO SCALE

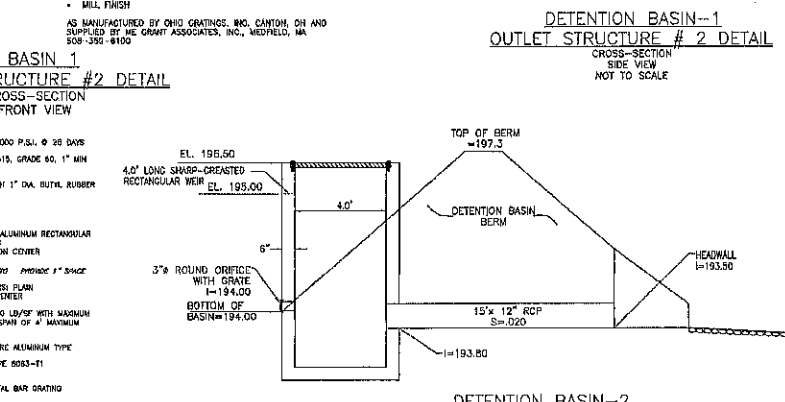


DETENTION BASIN-1  
OUTLET STRUCTURE #2 DETAIL

CROSS-SECTION

FRONT VIEW

NOT TO SCALE

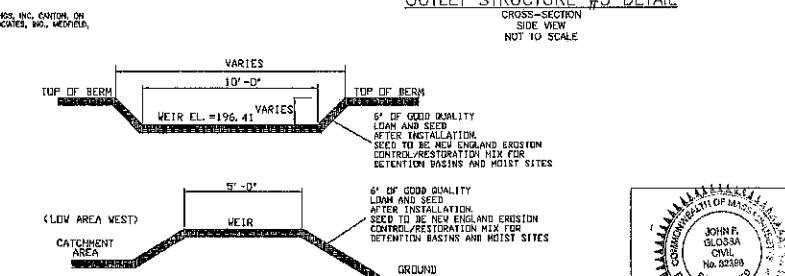


DETENTION BASIN-2  
OUTLET STRUCTURE #3 DETAIL

CROSS-SECTION

FRONT VIEW

NOT TO SCALE

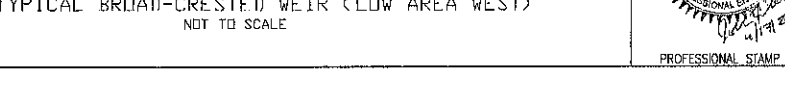


DETENTION BASIN-2  
OUTLET STRUCTURE #4 DETAIL

CROSS-SECTION

FRONT VIEW

NOT TO SCALE



DETENTION BASIN-2  
OUTLET STRUCTURE #5 DETAIL

CROSS-SECTION

FRONT VIEW

NOT TO SCALE

HOLBROOK PLANNING BOARD

APPROVED: \_\_\_\_\_

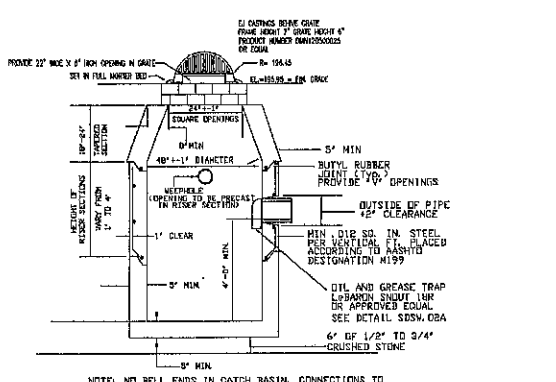
ENDORSED: \_\_\_\_\_

1. \_\_\_\_\_ CLERK OF THE TOWN OF  
HOLBROOK RECEIVED FROM THE PLANNING BOARD  
APPROVAL OF THIS PLAN AND NO APPEAL HAS  
BEEN TAKEN FOR TWENTY (20) DAYS NEXT AFTER  
RECEIPT OF SAME.

HOLBROOK TOWN CLERK

APPROVAL REQUIRED UNDER SUBDIVISION CONTROL LAW BY THE TOWN OF  
HOLBROOK PLANNING BOARD (ENDORSEMENT OF THIS PLAN DOES NOT  
INDICATE THAT THE PROPOSED LOTS ARE BUILDABLE OR THAT THEY MEET  
ZONING, HEALTH, CONSERVATION OR GENERAL BY-LAW REQUIREMENTS.  
PLANNING BOARD ENDORSEMENT OF THIS PLAN DOES NOT CONSTITUTE AN  
INTERPRETATION OF ZONING).  
THIS PLAN IS SUBJECT TO A COVENANT RECORDED AT THE NORFOLK  
COUNTY REGISTRY OF DEEDS AS DOCUMENT NO. \_\_\_\_\_. THE  
APPROVAL OF THIS PLAN IS SUBJECT TO CONDITIONS TO BE RECORDED  
HEREWITH.

NOTE:  
ALL DRAINAGE CONSTRUCTION AND APPURTENANCES SHALL CONFORM TO  
THE TOWN OF HOLBROOK DPW SPECIFICATIONS, STANDARDS AND RULES  
AND REGULATIONS.



PRECAST CONCRETE CATCH BASIN WITH BEEHIVE GRATE  
FOR PROPOSED CATCH BASIN - 5

NOT TO SCALE

DEFINITIVE PLAN  
GIOIOSO DRIVE EXTENSION  
DRAIN DETAILS  
PLAN OF LAND  
85-86 SHERRICK AVENUE  
HOLBROOK, MA 02343

GIOIOSO BROS., INC.  
50 SPRAGUE STREET  
HYDE PARK, MA 02136  
fgioioso@pgioioso.com

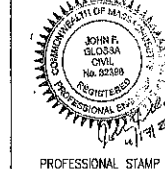
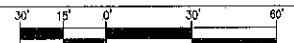
GLOSSA ENGINEERING, INC.  
46 EAST ST  
EAST WALPOLE, MA 02032  
glossaeng@aol.com

DATE: AUGUST 28, 2021

SCALE: NO SCALE

PROJECT:

SHEET 10 OF 12



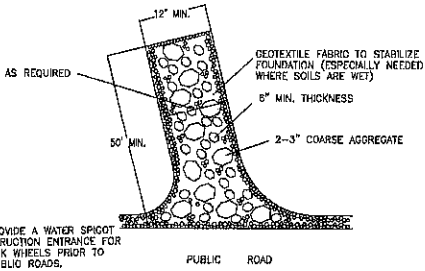
REVISIONS:

No.	DATE	PER TOWN COMMENTS
1	3-3-22	PER TOWN COMMENTS
2	3-3-22	PER TOWN COMMENTS
3	3-3-22	PER TOWN COMMENTS
4	3-3-22	PER TOWN COMMENTS
5	3-3-22	PER TOWN COMMENTS
6	3-3-22	PER TOWN COMMENTS

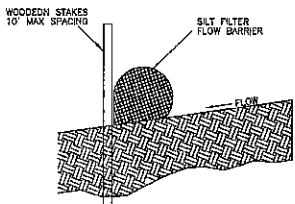
NOTES:

2. LOCATION AND DESCRIPTION OF UTILITIES ARE FROM THE BEST AVAILABLE INFORMATION, BUT ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE EXCAVATING.
3. LINES FOR SERVICES, POLICE BOXES, STREET LIGHTS, AND OVERHEAD POWER AND TELEPHONE LINES ARE NOT SHOWN ON THE PLANS. THE APPROPRIATE UTILITY COMPANIES, OR AUTHORITIES, SHOULD BE CONSULTED FOR LOCATIONS OF THE ABOVE.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG-SAFE AND PUBLIC UTILITY COMPANIES, OR AUTHORITIES, TO PERMIT STREET MARKING OF THEIR LINES 72 HOURS PRIOR TO THE START OF CONSTRUCTION OPERATIONS.

NOTE:  
OWNER TO PROVIDE A WATER SPOUT AT THE CONSTRUCTION ENTRANCE FOR WASHING TRUCK WHEELS PRIOR TO EXITING TO PUBLIC ROADS.



SILT BARRIER (8\"/>



- CONSTRUCTION NOTES:
1. ALL AREAS TO BE ALTERED SHALL BE BROUGHT TO SUB GRADE OR FINAL GRADE AT THE START OF CONSTRUCTION
  2. AREAS ONCE BROUGHT TO GRADE THAT WILL NOT BE ALTERED AGAIN SHALL BE LOAMED AND SEEDED AND PROTECTED WITH STRAW GUARD AS NEEDED
  3. DRAINAGE BASIN AS SHOWN SHALL NOT BECOME OPERATIONAL UNTIL THE SITE IS FINISHED AND SWEEPED OF ALL DEBRIS
  4. TEMPORARY SEDIMENT BASINS SHALL BE USED AND MAINTAINED UNTIL ALL PROPOSED PAVED AREAS ARE COMPLETE AND SWEEPED OF ALL DEBRIS
  5. CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTS AT ALL TIMES UNTIL CONSTRUCTION IS COMPLETE
  6. INSTALL SILT SACKS IN ALL EXISTING AND PROPOSED CATCH BASINS
  7. THE DEVELOPER SHALL MAINTAIN EROSION / SEDIMENTATION CONTROLS DURING CONSTRUCTION AND UNTIL THE SALE OF THE LOTS.
  8. EROSION / SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER RAINFALL EVENTS GREATER THAN 1/2"
  9. TEMPORARY GROUND COVER OR EROSION / SILTATION CONTROL SHALL BE ESTABLISHED ON ANY UNBUILT LOTS WHERE REQUIRED BY THE PLANNING BOARD.

HOLBROOK PLANNING BOARD

APPROVED: \_\_\_\_\_  
ENDORSED: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF HOLBROOK RECEIVED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY (20) DAYS NEXT AFTER RECEIPT OF SAME.

HOLBROOK TOWN CLERK

APPROVAL REQUIRED UNDER SUBDIVISION CONTROL LAW BY THE TOWN OF HOLBROOK PLANNING BOARD (ENDORSEMENT OF THIS PLAN DOES NOT INDICATE THAT THE PROPOSED LOTS ARE BUILDABLE OR THAT THEY MEET ZONING, HEALTH, CONSERVATION OR GENERAL BY-LAW REQUIREMENTS. PLANNING BOARD ENDORSEMENT OF THIS PLAN DOES NOT CONSTITUTE AN INTERPRETATION OF ZONING). THIS PLAN IS SUBJECT TO A COVENANT RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS AS DOCUMENT NO. \_\_\_\_\_. THE APPROVAL OF THIS PLAN IS SUBJECT TO CONDITIONS TO BE RECORDED HEREWITH.

CONSTRUCTION SEQUENCE:

- 1) THE LIMIT OF WORK SHALL BE CLEARLY MARKED IN THE FIELD BY THE DESIGN ENGINEER
- 2) DESIGNATE THE MATERIALS STOCKPILE AREAS IN THE FIELD
- 3) INSTALL SILT CONTROLS AS SHOWN ON THE PLAN
- 4) INSTALL STABILIZED CONSTRUCTION ENTRANCE
- 5) INSTALL SILT SACKS IN EXISTING CATCH BASINS
- 6) REMOVE AND STOCKPILE TOP AND SUB SOIL FROM ALL AREAS TO BE DISTURBED
- 7) INSTALLATION OF DETENTION BASIN
- 8) BRING ROADWAY TO SUB GRADE WITH BANK GRAVEL
- 9) INSTALL SEWER, WATER AND OTHER UNDERGROUND UTILITIES AS NEEDED
- 10) USE SILT SACKS FOR SILT CONTROL, BRING ROADWAY TO GRAVEL GRADE AND PAVE TO TO BINDER COURSE
- 11) INSTALL CURBING, SIDEWALKS AND LOAM STRIPS
- 12) LOAM AND SEED ALL SIDE SLOPES AND OTHER DISTURBED AREAS
- 13) INSTALL GRAVEL WETLAND IN DETENTION BASIN #2
- 14) INSTALL FINAL PAVEMENT
- 15) INSTALL LIMIT OF EASEMENT FENCING
- 16) REMOVE SILTATION CONTROL AND CLEANUP AREAS INCLUDING CATCH BASIN SUMPS

DEFINITIVE PLAN  
GIOIOSO DRIVE EXTENSION  
CONSTRUCTION PERIOD  
PLAN OF LAND  
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fgioioso@pgioioso.com

GLOSSA ENGINEERING, INC.  
46 EAST ST  
EAST WALPOLE, MA 02032  
glossaeng@aol.com

DATE: AUGUST 28, 2021

SCALE: 1"=30'

PROJECT:

SHEET 11 OF 12



REVISIONS:

No.	DATE	REVISION
1	8-23-21	PER TOWN COMMENTS
2	8-23-21	PER TOWN COMMENTS
3	8-23-21	PER TOWN COMMENTS
4	8-23-21	PER TOWN COMMENTS
5	8-23-21	PER TOWN COMMENTS
6	8-23-21	PER TOWN COMMENTS



